

# APPLICATION TO THE BUILDING APPEALS BOARD FOR A DETERMINATION FOR CLASS 2 TO 9 BUILDINGS



Postal address: P.O. Box 536E Melbourne 3001 Phone: (03) 9285 6407 Fax: (03) 9285 6410 Website: www.buildingcommission.com.au

To the Registrar, Building Appeals Board,

I hereby make an application to the Building Appeals Board for a determination under the **Building Act 1993** pursuant to:

**Section 160 (Modification application)**<sup>1</sup>  or **Section 160A (Compliance assessment)**<sup>2</sup>  (Tick applicable box)

**1. Site details** Address 28 Commercial Road, Industrial Park  
Postcode 3111  
Municipality City of Sunshine

**2. Applicant** Name Ms Debbie Aston  
Note: If the applicant is acting on the owners behalf nominate the name of the owner(s).  
Address 200 Hill Crest Avenue, Skipton  
Postcode 3456  
Telephone 8999 4555 Fax 8999 6555 Mobile 0498 765 321  
Email address Daston@optunet.com.au

**3. Relevant building surveyor** Name Ms Snezana French  
Address 1 White Street, Skipton  
Postcode 3456  
Telephone 8543 4353 Fax 8543 4354 Mobile 0412 159 789  
Email address Sfrench@optunet.com.au

**4. Relevant building details if relevant as applicable** Use of building Factory  
BCA classification(s) 7b Type of construction: A  B  C  Rise in storeys 1  
No. of storeys contained 1 Floor area of existing building \_\_\_\_\_ Floor area of new building 300 m<sup>2</sup>  
Effective height \_\_\_\_\_ Area and volume of fire compartment(s) (a) \_\_\_\_\_ m<sup>2</sup> \_\_\_\_\_ m<sup>3</sup> (b) \_\_\_\_\_ m<sup>2</sup> \_\_\_\_\_ m<sup>3</sup>  
a) Has the work that forms part of this application commenced? **Yes/No** If yes, what percentage is completed ( \_\_\_\_\_%)  
b) Has any fire engineering/fire safety assessment report or other expert reports been undertaken as part of this development, that may in any way relate directly or indirectly to the matters raised in the application? **Yes/No** If yes, provide details and any conditions imposed.  
c) Has any alternative building solution(s) or dispensation(s) been approved as part of this development, that may in any way relate directly or indirectly to the matters raised in the application? **Yes/No** If yes, provide details and any conditions imposed.  
d) Is the application subject to any building notices, building orders, other reports or consents, that may in any way relate directly or indirectly to the matters raised in the application? **Yes/No** If yes, provide details and any conditions imposed.  
e) Is there a relevant planning permit or other prescribed approval? **Yes/No** If yes, provide details and any conditions imposed.  
f) Is the building on a register under the Heritage Act 1995? **Yes/No**  
g) Has any aspect of this matter been considered by the Building Commission? **Yes/No**

**5.** Provide three (3) copies of this application and three (3) copies of all relevant documents and drawings marked up to highlight determination(s) sought. Applications relating to bush fire matters require an additional copy. A cheque for \$ **200**..... must be made payable to the Building Commission.

Applicant's signature: Debbie Aston Date: December 2004

This person signing acts on behalf of the owner and confirms that the owner is aware of this application.<sup>3</sup>

# INFORMATION TO ACCOMPANY THE APPLICATION FOR MODIFICATION

## A. General Requirements

### 1) Background of the proposal

It is proposed to construct a new factory for the production of plastic plumbing fixtures. The building will have a floor area of 300m<sup>2</sup> and will be constructed of concrete tilt panels with a steel framed roof. The building will be constructed on the allotment boundaries, which restricts the positioning of alternative exit door locations for the building.

### 2) Nature of the modification

To permit the distance of travel to a single exit as shown on the plans, to be 25 metres in lieu of 20 metres maximum.

### 3) Applicable Deemed to Satisfy Provision

**D1.4** *Exit travel distances*

#### **Relevant primary Performance Requirement**

**DP4** *Exits must be provided from a building to allow occupants to evacuate safely*

### 4) Indicate why the Regulations is inappropriate?

The regulation prescribes a maximum travel distance of 20 metres to a single exit. This prescriptive value is very difficult if not impossible to comply with on narrow allotments that are land locked and where alternative means of egress is not available to an open space or public road.

### 5) Indicate why it is reasonable to vary the Regulation?

- The building occupants will be familiar with the location of the exit and its travel distance.
- The building will accommodate a maximum of 10 occupants.
- The extended exit travel distance of 5 metres is of a minor nature and is considered a reasonable distance to be travelled by occupants in reaching an exit.
- The building will be occupied during daylight hours where the occupants will be alert and awake.
- The exit door will be identified easily as it is visible from all points of the factory floor due to its open plan layout.

## 6) Relevant BCA Performance Requirement

### DP4

*Exits must be provided from a building to allow occupants to evacuate safely, with their number, location and dimensions being appropriate to-*

- (a) the travel distance; and*
- (b) the number, mobility and other characteristics of occupants; and*
- (c) the function or use of the building; and*
- (d) the height of the building; and*
- (e) whether the exit is from above or below ground level.*

### Comments on individual clauses of the Performance Requirement

#### a) Travel distance

The extended exit travel distance of 5 metres is of a minor nature and is considered a reasonable distance to be travelled by occupants in reaching an exit. It is considered the additional travel distance will not affect occupant life safety relating to available safe evacuation time versus required safe evacuation time. I.e. it can be safely assumed that occupants will travel at a speed of 1 metre per second, therefore the extra time to evacuate the building will only be 5 seconds.

#### b) Occupants

No general public access is permitted to the factory. The building will accommodate a maximum of 10 people. The building will be occupied during daylight hours where the occupants will be alert and awake.

#### c) Function/Use

The floor layout of the factory will be an open plan with storage compactus positioned to the perimeter walls to maintain a clear line of sight to the exit.

#### d) Height of building

The proposed factory is a single storey building with a floor to ceiling height of 7 metres and allows for egress at street level.

## 7) Issues relevant to the Regulation to be modified

### Rise in storey –

The proposed factory is a single storey building with a floor to ceiling height of 7 metres and allows for egress at street level.

### Special characteristics of occupants –

No general public access is permitted to the factory floor. The building will be occupied during daylight hours where the occupants will be alert and awake.

□ **The extent of the deviation; from the Deemed to Satisfy Provision -**

The deviation is only of a minor nature as the extended travel distance is 5 metres.

□ **Number & width of escape routes –**

The layout of the factory has clear paths and width to exits and a width that will allow the occupants ease of travel to the exit avoiding factory furniture.

□ **Clear lines of sight to an exit –**

The floor layout of the factory will be an open plan with storage compactus positioned to the perimeter walls to maintain a clear line of sight of the exit.

□ **Length of dead end paths –**

The maximum travel distance to the single exit is 25 metres measured from the furthest point on the floor, in lieu 20 metres.

□ **Egress signage and emergency lighting -**

Emergency evacuation lighting will be installed to AS2293.1 throughout the factory.

□ **Evacuation procedures –**

All staff will be trained in the evacuation procedures for the building and will also be trained in the use of portable fire extinguishers.

**8) Supporting documentation**

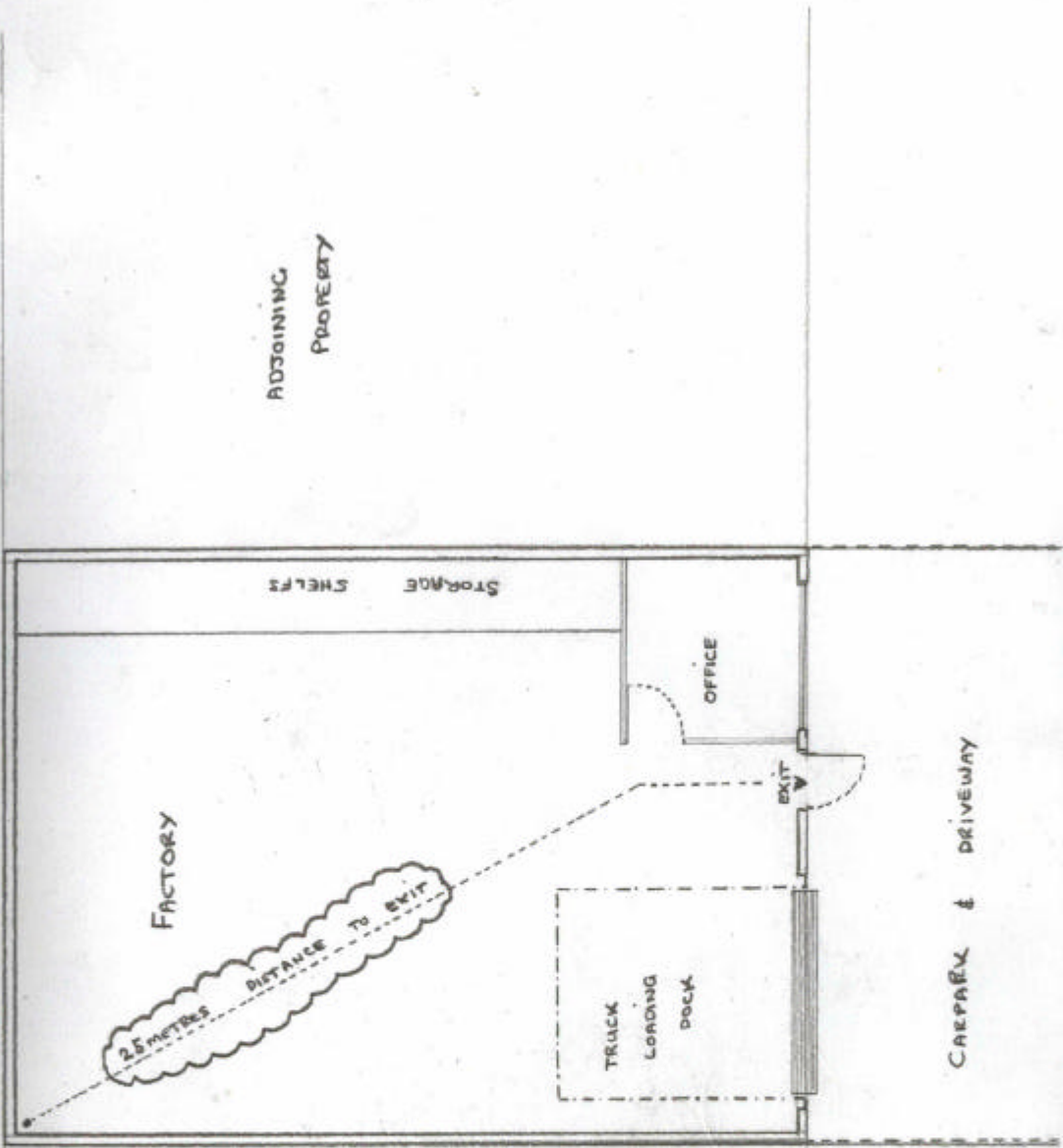
Project No. 38754

Drawing No. A01/c floor plan.

**C. Essential Services**

**1) Affected Essential Services**

<b>Essential Services</b>	<b>Description (design &amp; installation standards)</b>	<b>Maintenance Requirements</b>
Exit Paths	Path of travel to exits D1.4	Yearly



28 COMMERCIAL ROAD, INDUSTRIAL PARK  
 PROJECT No. 38754 DRAWING No. A01/C

A N

FLOOR PLAN