

APPLICATION TO THE BUILDING APPEALS BOARD FOR A DETERMINATION FOR CLASS 1 AND 10 BUILDINGS



Postal address: P.O. Box 536E Melbourne 3001 Phone: (03) 9285 6407 Fax: (03) 9285 6410 Website: www.buildingcommission.com.au

To the Registrar, Building Appeals Board,

I hereby make an application to the Building Appeals Board for a determination under the **Building Act 1993** pursuant to:

Section 160 (Modification application)¹ or **Section 160A (Compliance assessment)**² (Tick applicable box)

1. Site details Address 12 Golf Road, Sandtrap Postcode 3957
Municipality Shire of Green

2. Applicant Name Mr John Smith
Note: If the applicant is acting on the owners behalf nominate the name of the owner(s).
Address 12 Golf Road, Sandtrap Postcode 3957
Telephone 5999 8887 Fax 5999 8899 Mobile 0400 089 100
Email address Jsmith@teltro.com.au

3. Relevant building surveyor Name Ms Kathy Jones
Address 62 James Street, Sandtrap Postcode 3957
Telephone 5878 7896 Fax 5989 7741 Mobile 0125 569 896
Email address Kjones@teltro.com.au

4. Relevant building details as applicable
Use of building Single Dwelling BCA classification(s) 1a
No of storeys 1 Floor area of existing building 250m² Floor area of new building 40m²
a) Is the development affected by Res Code (Part 4 Siting)? **Yes/No** Council Consent? **Yes/No** If yes, provide details and any conditions.
b) Has the work that forms part of this application commenced? **Yes/No** If yes, what percentage is completed (_____%)
c) Has any fire engineering/fire safety assessment report or other expert reports been undertaken as part of this development, that may in any way relate directly or indirectly to the matters raised in the application? **Yes/No** If yes, provide details and any conditions imposed.
d) Has any alternative building solution(s) or dispensation(s) been approved as part of this development, that may in any way relate directly or indirectly to the matters raised in the application? **Yes/No** If yes, provide details and any conditions imposed.
e) Is the application subject to any building notices, building orders, other reports or consents, that may in any way relate directly or indirectly to the matters raised in the application? **Yes/No** If yes, provide details and any conditions imposed.
f) Is there a relevant planning permit or other prescribed approval? **Yes/No** If yes, provide details and any conditions imposed.
g) Is the building on a register under the Heritage Act 1995? **Yes/No**
h) Has any aspect of this matter been considered by the Building Commission? **Yes/No**

5. Provide three (3) copies of this application and three (3) copies of all relevant documents and drawings marked up to highlight determination(s) sought. Applications relating to bush fire matters require an additional copy. A cheque for \$... 90..... must be made payable to the Building Commission.

Applicant's signature: John Smith Date: December 2004

This person signing acts on behalf of the owner and confirms that the owner is aware of this application.³

INFORMATION TO ACCOMPANY THE APPLICATION FOR MODIFICATION

A. General Requirements

1) Background of the proposal

The site currently contains a single storey dwelling having a floor area of 250m². The proposed dwelling addition will be a family room with an area of 40m². The dwelling consists of a timber frame structure with weatherboard cladding. The site has been classified as Level 2 Category of High Bushfire Attack.

2) Nature of the modification

To permit the deletion of the requirement to provide corrosion-resistant steel or bronze mesh screens to the new bi-fold doors serving the family room.

3) Applicable Deemed to Satisfy Provision

3.7.4.3 *Construction requirements (Bushfire areas)*

Relevant primary Performance Requirement

P2.3.4 *Bushfire areas*

4) Indicate why the Regulation is inappropriate?

The building is 25 years old and the regulations at the time of construction did not regulate mesh screen protection to external window and door openings.

The Shire has only in the last 5 years designated the land as bush fire prone.

5) Indicate why it is reasonable to vary the Regulation?

- The existing dwelling currently does not meet any of the construction requirements relating to bush fire protection.
- The addition to the dwelling only represents 16% of the current dwellings floor area. This does not warrant protection to comply with current day standards considering the remaining portion of the dwelling is non-compliant.
- The dwelling currently has a sprinkler system on the roof protecting the existing dwelling and openings (windows & doors).
- The sprinkler system will be upgraded to extend over the additional roof area and a sprinkler head will also be provided to the fascia over the bi-fold doors.
- An additional water storage tank capable of containing 10,000Lt will be provided for fire fighting purposes fitted with CFA couplings.
- The surrounding site vegetation will be maintained around the dwelling.
- The occupants of the dwelling have an emergency evacuation procedure in place and will continue with an annual evacuation drill.
- All existing openings to the dwelling are screened with nylon fly mesh.

6) Relevant primary BCAPerformance Requirement

P2.3.4

The building must be designed and constructed to reduce the risk of ignition from a bushfire while the fire front passes –

Comments on individual clauses of the Performance Requirement

- The provision of the active fire suppression system and an additional 10,000lt water storage tank allocated for fire fighting purposes, will significantly reduce the risk of ignition to the building.

7) Issues relevant to the Regulation to be modified

□ Potential ignition sources

With the site vegetation maintenance program being implemented around the dwelling and the added protection of the sprinkler system, the risk of ignition from ember attack is significantly reduced.

□ Occupant life safety

The occupants of the dwelling have an emergency evacuation procedure in place.

□ Bushfire protection

Vegetation management plan is in place, to ensure that the vegetation surrounding the dwelling is maintained, to reduce the risk of ignition.

□ Special characteristics of fuel load

A vegetation management plan is in place, to ensure that the vegetation surrounding the dwelling is maintained, to reduce the risk of ignition.

□ External suppression systems

The provision of the active fire suppression system and an additional 10,000lt water storage tank allocated for fire fighting purposes will reduce the risk of ignition to the building.

□ Deviation from the Deemed to Satisfy provisions –

The deviation is only of a minor nature, as the installation of the active fire suppression system will protect the bi-fold doors in lieu of providing screen mesh protection.

□ **Fire brigade intervention**

The local CFA have a very acceptable response time, which will also allow for early intervention of a bushfire occurring.

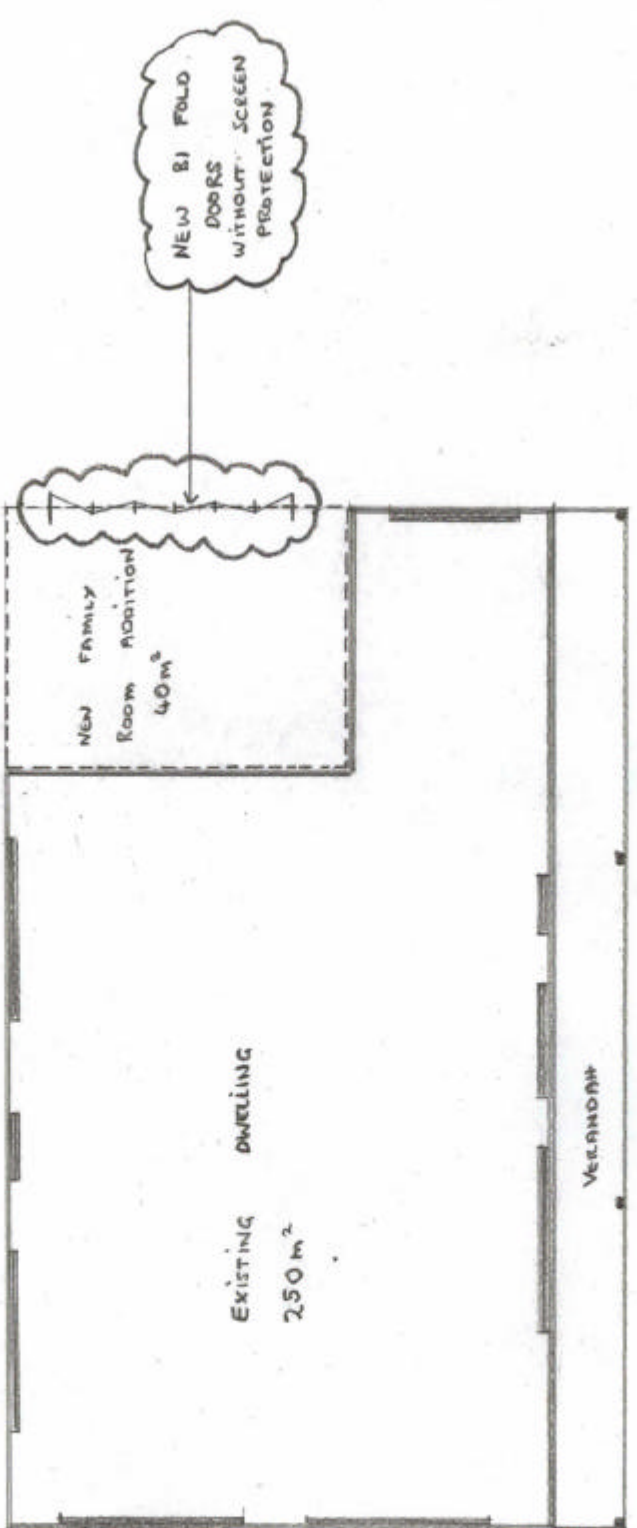
The provision of an additional 10,000lt water storage tank with compliant CFA couplings will give the brigade additional resources.

8) Supporting documentation

Project No. 39562

Drawings: A01/b floor plan.

LARGE DOMESTIC
TANK WATER
20,000 L^{TS}



NEW
10,000 L^{TS}
WATER
TANK.

12 GOLF ROAD, SANDTRAP

PROJECT No. 39562 DRAWING No. A01/U

FLOOR PLAN.